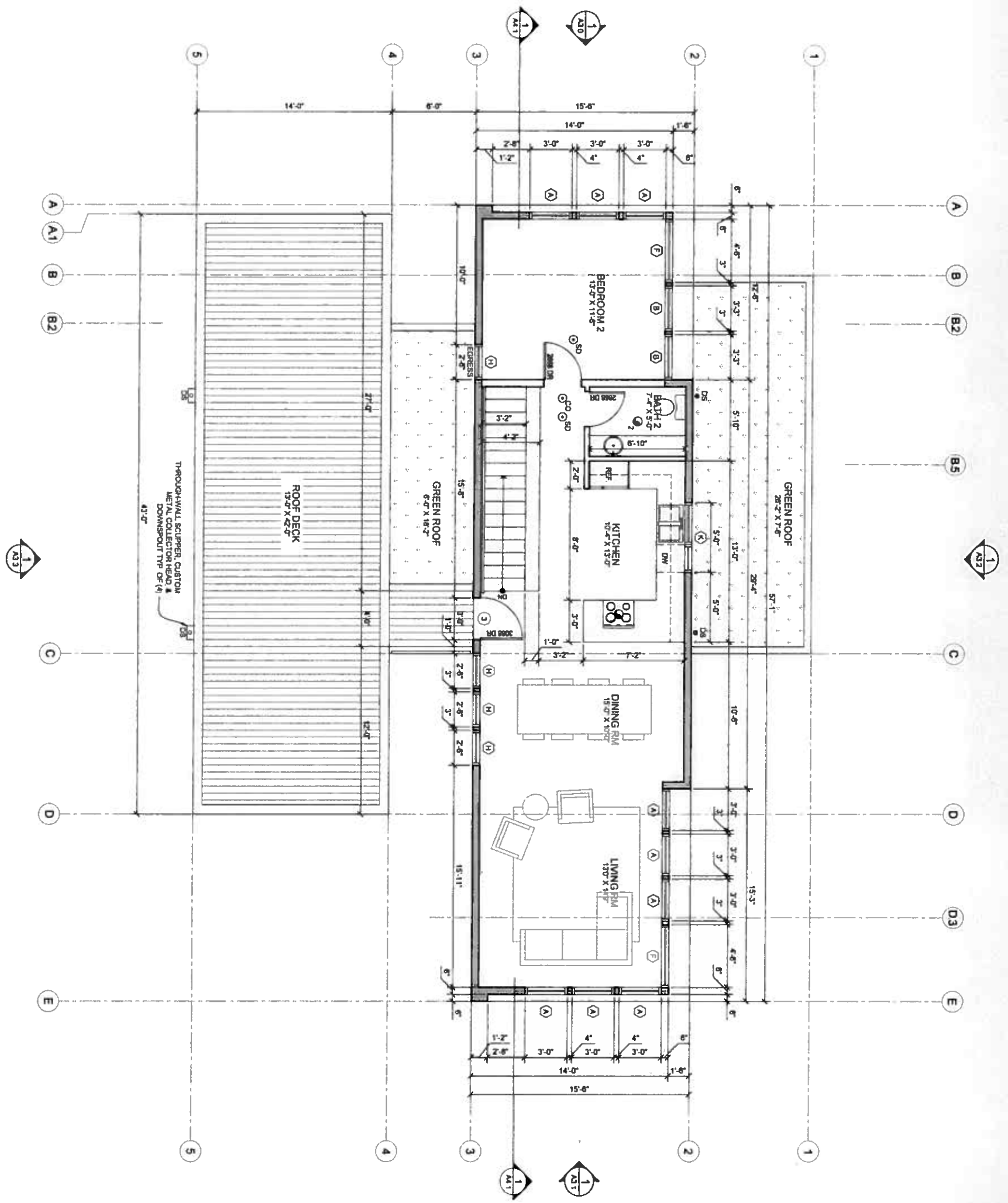


NOTES:

1. SEE A2.1 FOR TYPICAL FLOOR NOTES
2. SEE A2.3 FOR ROOF DRAINAGE PLAN & TYPICAL NOTES
3. DS = DOWNSPOUT (SIZING PER PLUMBING CODE, SOLID PIPE TIGHT-LINED & AWAY FROM HOUSE)



Floor Plan - Level 2 (830 SF)
SCALE: 1/4" = 1'-0"

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Model drawings were based on a 2012 floor

SONOMA
CLOVERDALE, CA

26861 Mountain Pine Rd
CLOVERDALE, CA 95455

No.	Date	Issue
1	03.18.13	Schematic
2	06.07.13	Programs
3	06.22.13	Programs
4	08.06.13	Permit

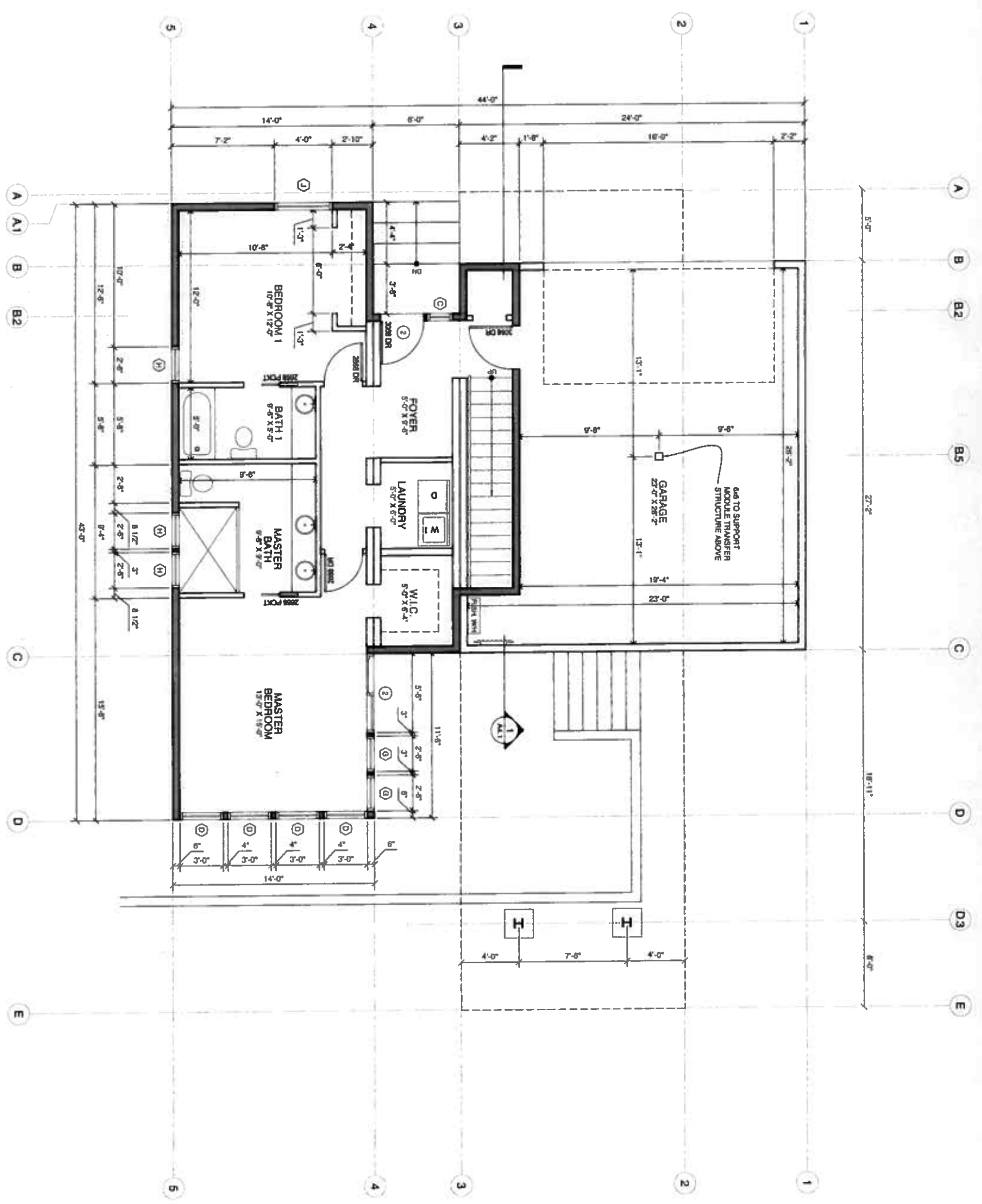
Floor Plan
Level 2

Job #: 040

No.	Date	Issue
1	03.19.13	Schematic
2	05.07.13	Progress
3	05.22.13	Progress

Floor Plan
Level 1
Job #: 040

A2.0
Sheet



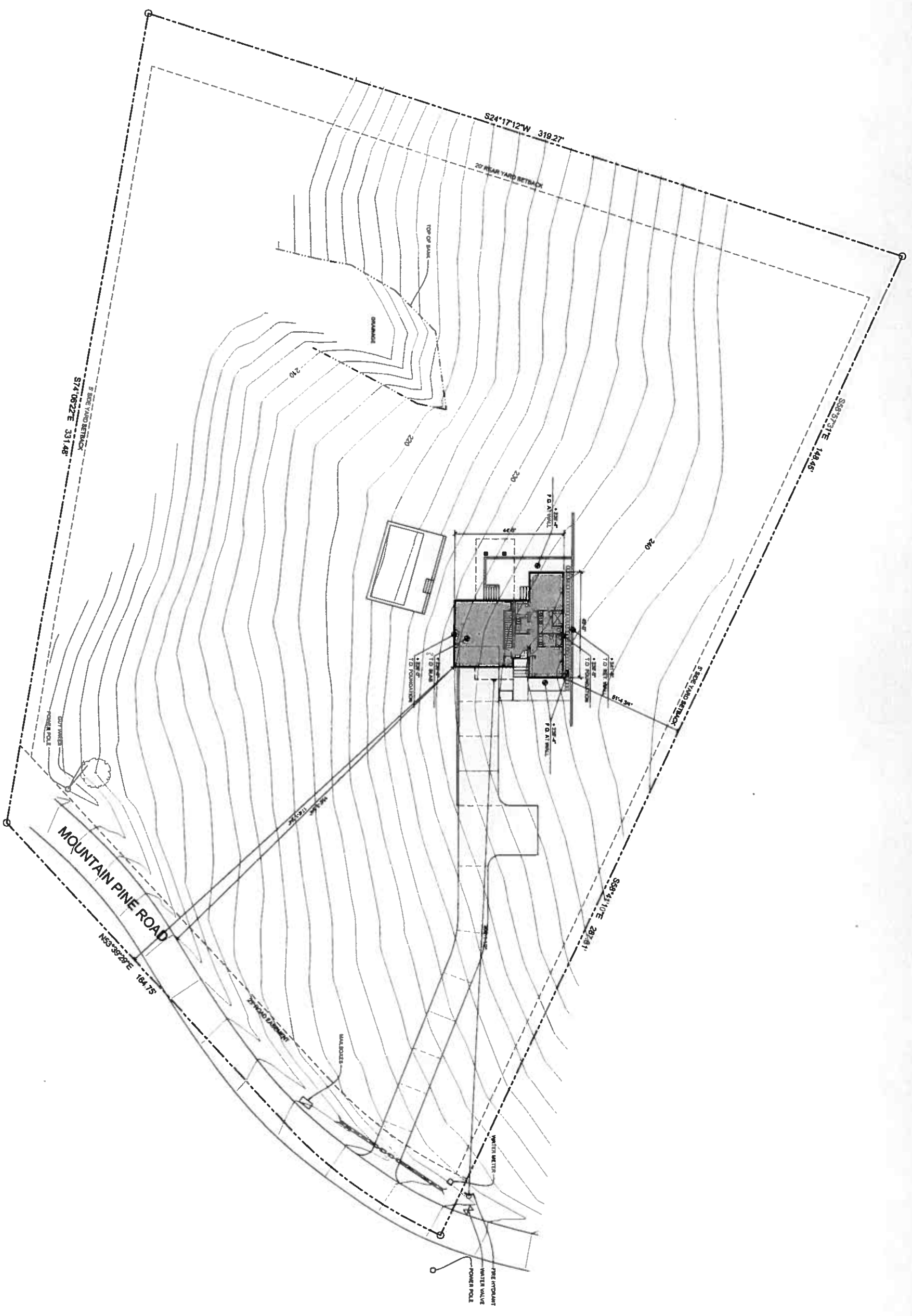
Floor Plan - Level 1
SCALE 1/4" = 1'-0"

SONOMA
 CLOVERDALE, CA

26861 Mountain Pine Rd
 CLOVERDALE, CA 95425

No.	Date	Issue
1	03.18.13	Schematic
2	05.07.13	Programs
3	05.22.13	Programs
4	06.06.13	Permit

Site Plan
 Job #: 040



PLOT PLAN

SCALE: 1" = 20'



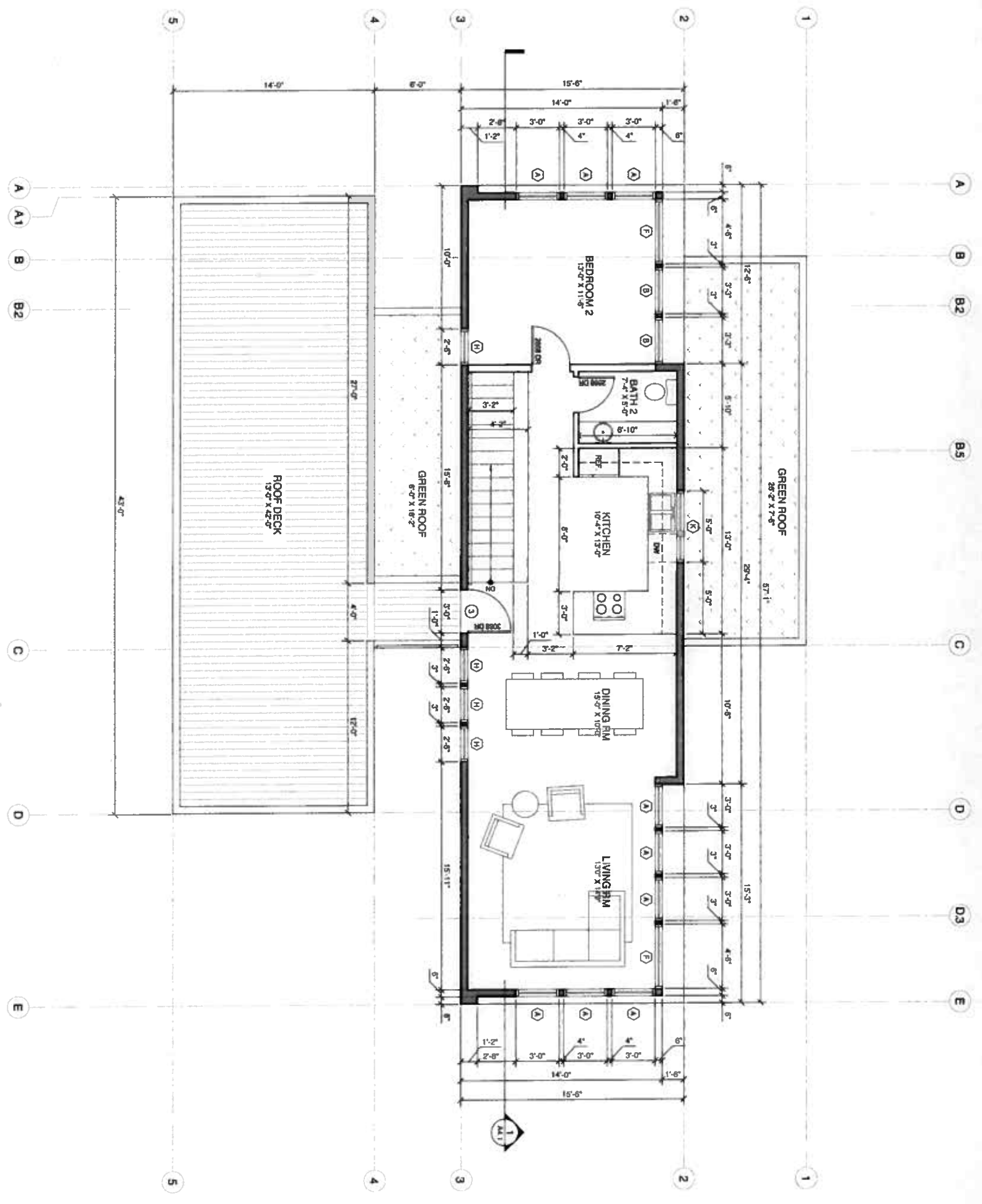
No.	Date	Issue
1	01.19.13	Schematic
2	05.07.13	Progress
3	06.22.13	Progress

Floor Plan
Level 2

Job # 040

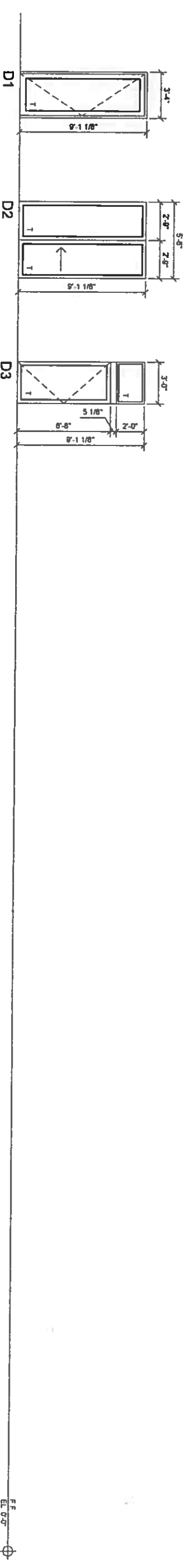
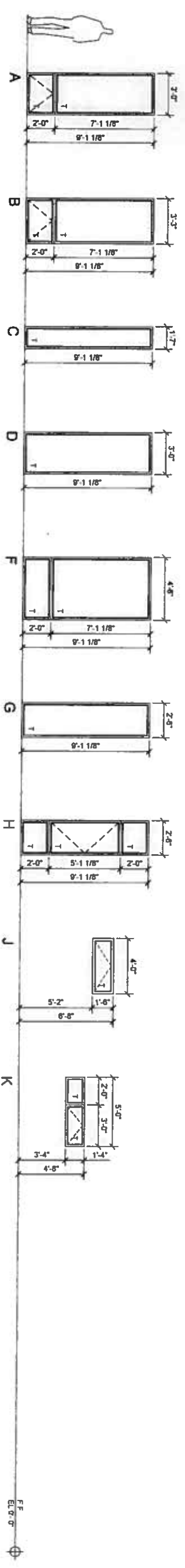
A2.2

Sheet



Floor Plan - Level 2
SCALE 1/4" = 1'-0"

No.	Date	Issue
1	03.19.13	Schematic
2	06.07.13	Programs
3	08.22.13	Permits
4	06.06.13	Permit



WINDOW & DOOR TYPES
SCALE: 1/4" = 1'-0"
T = TEMPERED

- GENERAL NOTES:**
- 1 ALL WINDOWS AND DOORS SHALL BE NFRC CERTIFIED AND SHALL BE LABELED WITH NFRC CERTIFIED U-FACTOR
 - 2 ALL TEMPERED GLASS IN ACCORDANCE WITH ULI REQUIREMENTS
 - 3 CONTRACTOR SHALL VERIFY WINDOW AND DOOR ROUGH OPENINGS ARE SQUARE, LEVEL, AND PLUMB BEFORE
 - 4 FLASH WINDOW PER ALMA STANDARDS AND MANUFACTURER REQUIREMENTS
 - 5 ALL WINDOW TO BE FACTORY STANDARD UON.
 - 6 FLASH & WEATHER PROOF WINDOWS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
 - 7 CONTRACTOR MUST VERIFY ALL ROUGH OPENING DIMENSIONS IN FIELD PRIOR TO ORDERING WINDOWS & DOORS
- PLEASE BRING DISCREPANCIES TO ATTENTION OF ARCHITECT. ALL SIZES NOTED IN WINDOW SCHEDULE DESIGNATE ROUGH OPENINGS. ADJUST UNIT SIZE TO SUIT MANUFACTURER'S INSTALLATION REQUIREMENTS.

WINDOW SCHEDULE

TAG	QTY	ROOM	TYPE	R.O. (WIDTH x HEIGHT)	AREA	U-VALUE	MATERIAL/COLOR	MANUFACTURER	NOTES
A	9	LIVING/DEN 2	FIXED/SLIDING	3'-0" x 8'-1 1/8"	27.28 S.F.	0.30	TBD/DARK GREY	TBD	
B	2	BEDROOM 2	FIXED/SLIDING	3'-2" x 8'-1 1/8"	29.55 S.F.	0.30	TBD/DARK GREY	TBD	
C	1	ENTRY	FIXED	1'-7" x 8'-1 1/8"	14.40 S.F.	0.30	TBD/DARK GREY	TBD	
D	4	MASTER	FIXED	3'-0" x 8'-1 1/8"	27.28 S.F.	0.30	TBD/DARK GREY	TBD	
F	2	LIVING/DEN 2	FIXED	4'-8" x 8'-1 1/8"	40.82 S.F.	0.30	TBD/DARK GREY	TBD	
G	2	MASTER	FIXED	2'-6" x 8'-1 1/8"	22.73 S.F.	0.30	TBD/DARK GREY	TBD	
H	1	PER PLUM	FIXED/CASEMENT	2'-8" x 8'-1 1/8"	22.73 S.F.	0.30	TBD/DARK GREY	TBD	
J	1	BEDROOM 1	AWNING	4'-0" x 1'-6"	6.00 S.F.	0.30	TBD/DARK GREY	TBD	EGRESS
K	1	KITCHEN	FIXED/SLIDING	5'-0" x 1'-6"	6.57 S.F.	0.30	TBD/DARK GREY	TBD	

DOOR SCHEDULE

TAG	QTY	ROOM	DOOR TYPE	R.O. (W x H)	PANEL (W x H)	GLAZING AREA	MATERIAL	MANUFACTURER	NOTES
D1	1	ENTRY	SWING	3'-0" x 8'-1 1/8"	3'-0" x 8'-0"	18.00 S.F.	TBD	TBD	
D2	1	MASTER	SLIDER	7'-8" x 8'-1 1/8"	2'-8" x 8'-0"	36.00 S.F.	TBD	TBD	
D3	1	ROOF	SWING	3'-0" x 8'-1 1/8"	3'-0" x 6'-0"	18.00 S.F.	TBD	TBD	

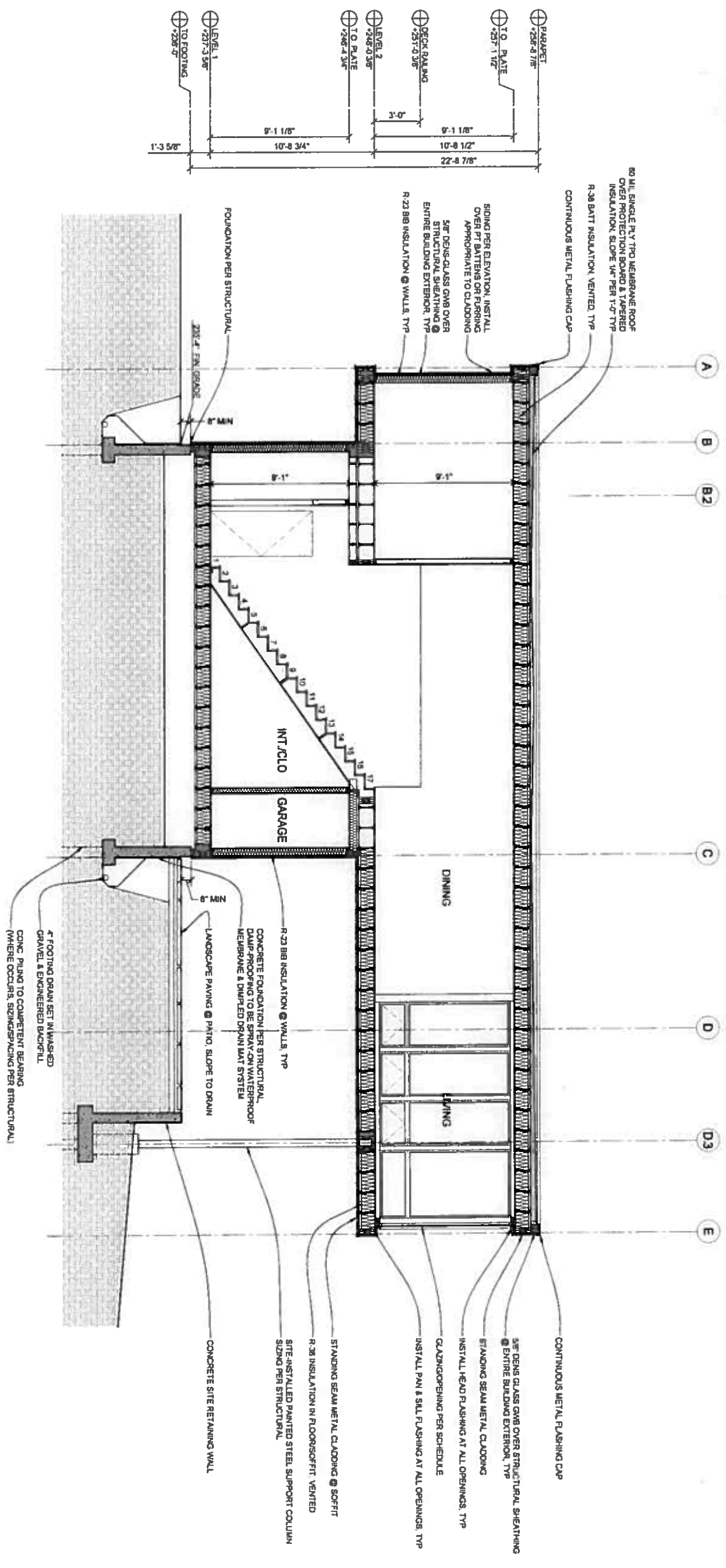
No.	Date	Issue
1	03.19.13	Schematic
2	05.07.13	Progress
3	05.22.13	Progress
4	06.06.13	Permit

Section

Job # 040

A4.1

Sheet



Building Section
SCALE: 1/4" = 1'-0"

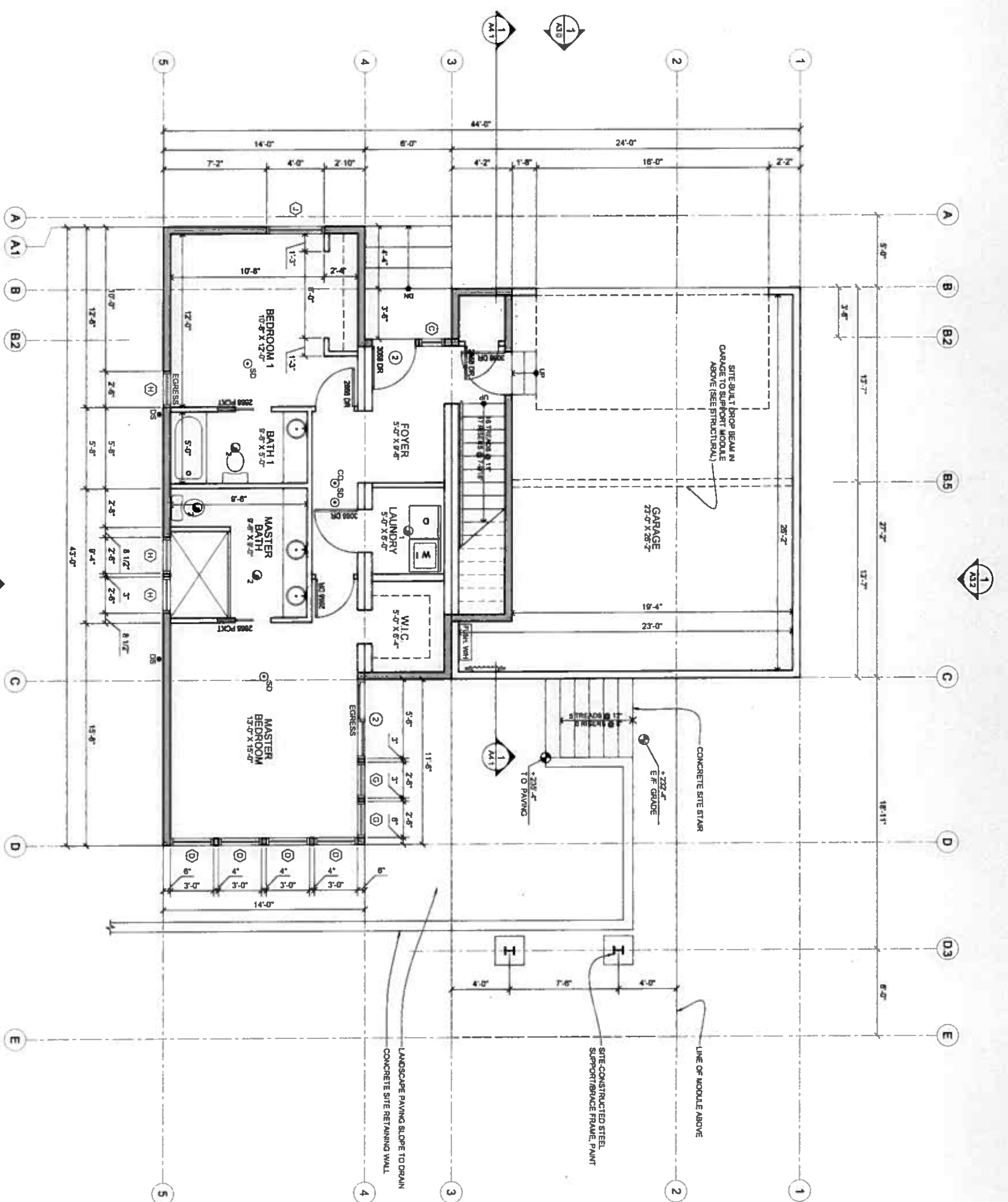
No.	Date	Issue
1	03.18.13	Schematic
2	05.07.13	Progress
3	05.22.13	Progress
4	08.08.13	Permit

Floor Plan
Level 1

Job # 0440

A2.1

Sheet



TYPICAL FLOOR NOTES:

- SEE E1.0 FOR ELECTRICAL DESIGN INFORMATION AND NOTES
- INSTALL SMOKE DETECTORS IN ALL SLEEPING ROOMS AND AT AREAS ADJACENT TO SLEEPING ROOMS, AND AT CEILING HEIGHT CHANGES GREATER THAN 2'-0" SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP
- INSTALL CARBON MONOXIDE SENSORS ADJACENT TO SLEEPING AREAS
- ALL ROOMS NOT REQUIRED TO HAVE GFCI RECEPTACLES SHALL HAVE AFCI CIRCUITS
- ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- HEADERS PER STRUCTURAL @ 8'-0" A.F.F. (U.N.O.)
- WINDOW SIZES ARE NOMINAL, ROUGH OPENING WIDTH AND HEIGHT
- DOOR SIZES NOTED ARE BLISS NOT ROUGH OPENINGS
- PROVIDE SOLID BLOCKING OVER SILLINGS AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY. DRAPESTRIPS SHALL BE INSTALLED SO THAT THE AREA OF CONCEALED SPACE DOES NOT EXCEED 1000 SF. DRAPESTRIPPING SHALL BE OF 1/2" GYP BOARD OR OTHER APPROVED MATERIALS INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS PER CODE.
- PROVIDE FIREBLOCKING TO CUT OFF ALL CONCEALED HORIZONTAL AND VERTICAL DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING MATERIAL CONSIST OF NOT LESS THAN 2" NOMINAL LUMBER OR OTHER APPROVED MATERIAL. GYP BOARD OR OTHER APPROVED MATERIAL SHALL BE APPLIED OVER SHEATHING OF ALL EXTERIOR WALLS. APPROVED ALTERNATIVE WEATHERPROOF MEMBRANES SHALL BE USED FOR OPEN JOINT RAIN SCREEN SOING. WEATHER RESISTANT MATERIALS SHALL BE APPLIED HORIZONTALLY PERMANUFACTURERS RECOMMENDATIONS, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2 INCHES AND NOT LESS THAN 8 INCHES WHERE JOINTS OCCUR PER CODE.
- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL SYSTEM OR PENETRATION OF WATER TO THE BUILDING. THE SURFACE OF THE EXTERIOR WALL SURFACE AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTRERING THE EXTERIOR WALL ENVELOPE. FLASHING SHALL BE INSTALLED AT, BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:
- INTERSECTIONS OF FRAME WALLS AND DOOR OPENINGS
- LANDER MASONRY, WOOD OR METAL COPINGS AND SILLS
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL
- AT WALL AND ROOF OR ROOF-TO-WALL INTERSECTIONS
- EXTERIOR LOCATIONS FOR ENVIRONMENTAL AIR DUCT EXHAUST & INTAKE OPENINGS TO BE A MINIMUM OF 3'-0" FROM PROPERTY LINE & MINIMUM 3'-0" FROM BUILDING OPENINGS. EQUIP ALL DUCTS W/ BACK-DRAFT DAMPERS
- AIR EXHAUST & INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED W/ CORROSION RESISTANT SCREENS, LOUVERS, OR GRILLS W/ 1/4" MINIMUM & 1/2" MAX OPENINGS IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS PER IRC R302.5
- DUCTS FOR KITCHEN RANGES SHALL BE OF METAL AND BE EQUIPPED W/ BACK-DRAFT DAMPERS PER CODE.
- DUCTS FOR WATER HEATERS SHALL BE MADE OF GALVANIZED AND SMOKE PROOF METAL. DUCTS SHALL BE PROTECTED PER SECTION 911.8.1 AND 912.2
- SEE A2.3 FOR ROOF DRAINAGE PLAN & TYPICAL NOTES
- DS = DOWNSPOUT (SIZING PER PLUMBING CODE, SOLID PIPE TIGHT-LINED INDEPENDENT OF FOOTING DRAIN WHERE NECESSARY, DAYLIGHT DOWNHILL & AWAY FROM HOUSE)
- INSTALL 3/8" DEBS GYBS OVER STRUCTURAL SHEATHING/FRAMING AT ENTIRE BUILDING EXTERIOR, TYP IN ACCORDANCE W/ REQUIREMENTS OF

GARAGE NOTES:

- GARAGES SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN TYPE X ONE HOUR RATED FIRE RESISTANT WALLS. THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" TYPE X GYPSUM BOARD OR EQUIVALENT
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING, SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MATERIAL THAT IS RESISTANT TO CORROSION AND SHALL BE PROTECTED BY NOT LESS THAN TYPE X ONE HOUR RATED FIRE RESISTANT WALLS. THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" TYPE X GYPSUM BOARD OR EQUIVALENT
- IN DESIGN ZONES 3 & 4 WATER HEATING SHALL BE ANCHORED TO RESIST MOZT DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE @ POINTS WITHIN THE UPPER ONE THIRD AND LOWER ONE THIRD PER UPC SEC. S10.5
- PROVIDE OUTDOOR COMBUSTION AIR FOR WATER HEATER
- GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL AND THE AREA USED FOR THE PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY

VENTILATION SCHEDULE

- 100 CFM SWITCH: MECHANICAL VENTILATING SYSTEMS IN BATHS SHALL BE INSTALLED WITH A 100 CFM SWITCH. ROOMS SHOULD EXHAUST DIRECTLY TO THE OUTSIDE. THE POINT OF EXHAUST AIR DISCHARGE SHALL BE AT LEAST 3'-0" FROM ANY OPENING INTO THE BUILDING.
- 50 CFM SWITCH
- 100 CFM ON TIMER

Floor Plan - Level 1 (840 SF)
SCALE: 1/4" = 1'-0"